

## 13. "D" Downtown

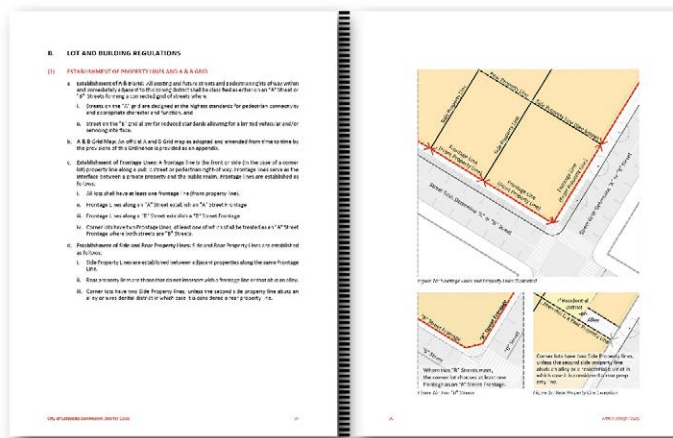
*Purpose: the "D" district implements the Mixed-Use Center future land use category of PlanLafayette. This provides the highest density and intensity in the City and Parish, and preserves its unique character and function.*

### (a) GENERAL PROVISIONS

#### (1) Applicability

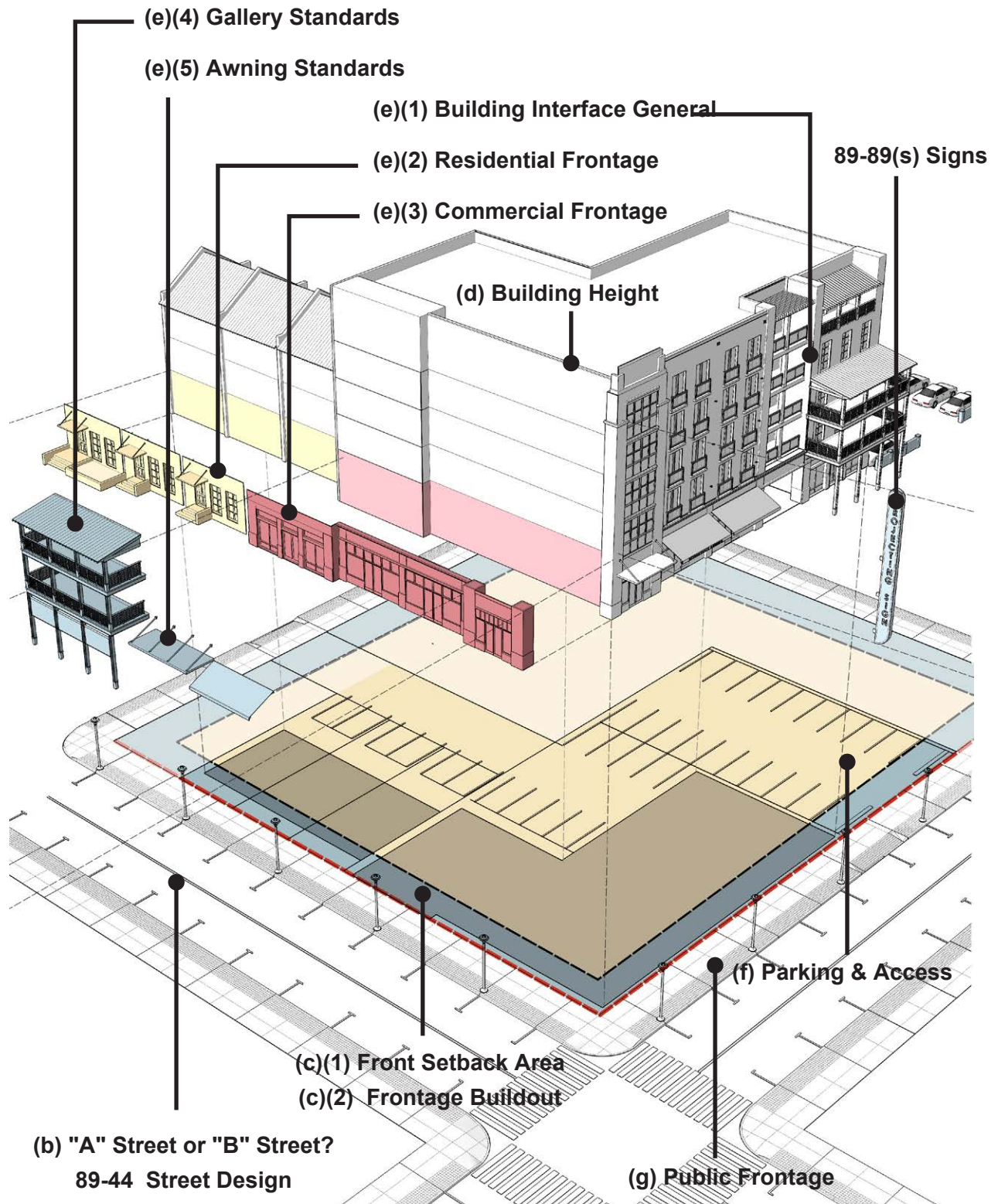
- a. **Relationship to the UDC:** Where there is a discrepancy between the provisions of this Code and provisions set forth within the Lafayette Unified Development Code, the intent and provisions of this district shall prevail.
- b. **Other Regulations within the UDC:** The Downtown district regulations are organized as a comprehensive urban code to regulate for downtown character. Other regulations outside this district that impact character and are applicable to the Downtown district include but are not limited to the following:
  - i. 89-22 Use Table, Table 89-22-2
  - ii. 89-25 General
  - iii. 89-26 Access Management & Driveways
  - iv. 89-27 Building Height
  - v. 89-37 Commercial Lighting
  - vi. 89-38 Lots, Blocks & Setbacks
  - vii. 89-39 Parking & Loading
  - viii. 89-42 Stormwater Improvements
  - ix. 89-44 Street Design
  - x. 89-74 Adaptive Reuse
  - xi. 89-89 Signs
  - xii. Article 6, Non-Conformities

*Viewing this Code: The Downtown District is organized as an urban code that is intended to be viewed as a two page spread where the code text is on the left page and code standards are on the right (the following page). The illustrations are intended to support the code text, and do not contain all code details and standards.*



Code Text on Left

Standards Illustrated  
on Right

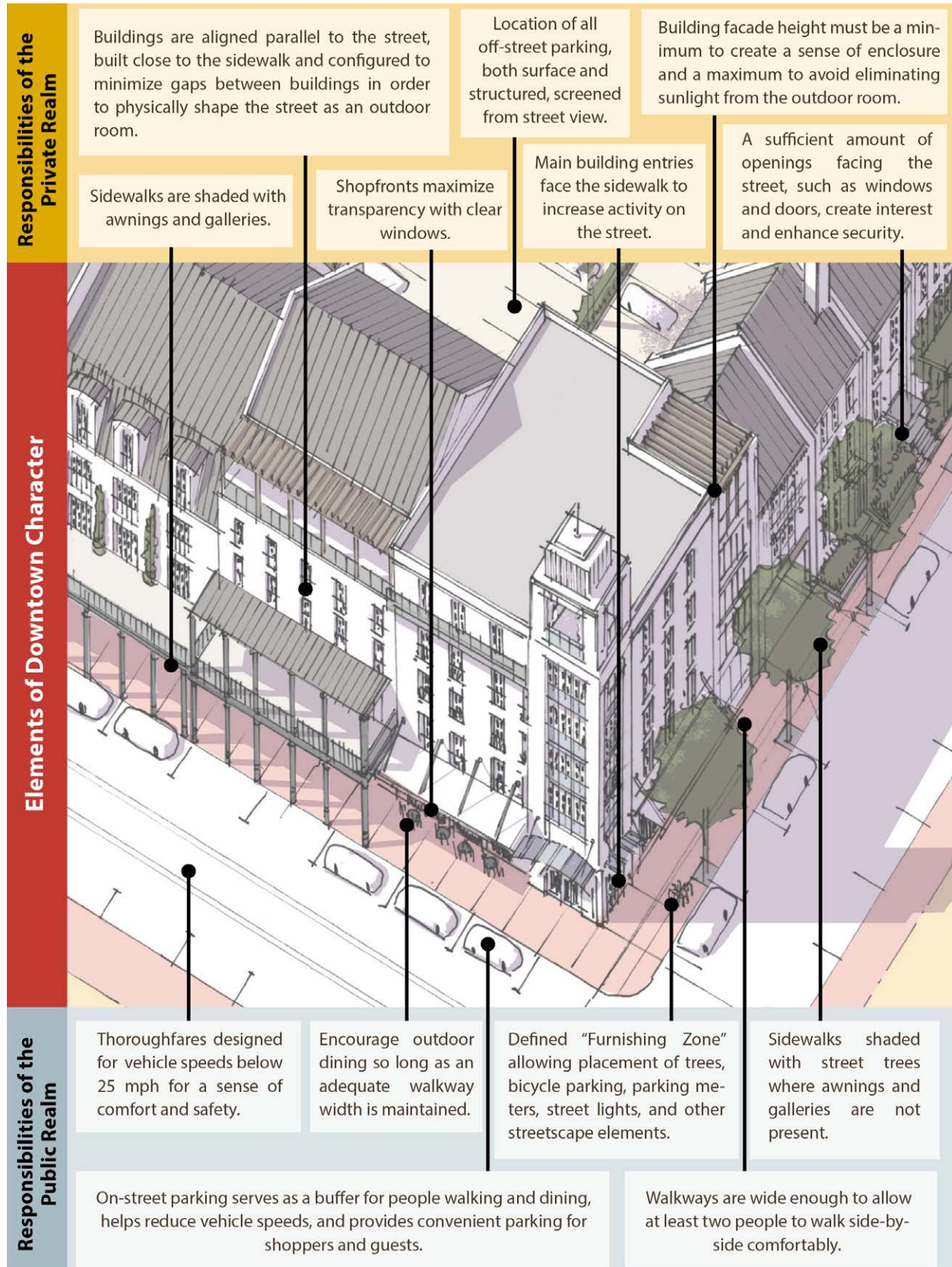


(2) Intent

- a. To implement the vision and principles as set out in the "Plan Lafayette" comprehensive plan and "Downtown Action Plan" that were adopted on June 10, 2014.
- b. To provide development standards that enhance and protect the core downtown amenities of vibrancy as characterized by human activity and interaction; convenience to one's daily needs; and public space as defined by high quality outdoor rooms.
- c. To ensure the appropriate character and function for **private property** having the following characteristics:
  - i. Buildings are aligned parallel to the street, built close to the sidewalk, and configured to minimize gaps between buildings in order to physically shape the street as an outdoor room.
  - ii. Sidewalks are shaded with awnings and galleries.
  - iii. Shopfronts maximize transparency with clear windows.
  - iv. Location of all off-street parking, both surface and structured, screened from street view.
  - v. Main building entries face the sidewalk to increase activity on the street.
  - vi. Building Facade height must be a minimum to create a sense of enclosure and a maximum to avoid eliminating sunlight from the outdoor room.
  - vii. A sufficient amount of openings facing the street, such as windows and doors, create interest and enhance security.
- d. To ensure the appropriate character and function for the **public realm** having the following characteristics:
  - i. Thoroughfares designed for vehicle speeds not to exceed 25 mph for a sense of comfort and safety.
  - ii. Encourage outdoor dining so long as an adequate walkway width is maintained.
  - iii. Defined "Furnishing Zone" allowing placement of trees, bicycle parking, parking meters, street lights, and other streetscape elements.
  - iv. Sidewalks shaded with street trees where awnings and galleries are not present.
  - v. On-street parking serves as a buffer for people walking and dining, helps reduce vehicle speeds, and provides convenient parking for shoppers and guests.
  - vi. Walkways are wide enough to allow at least two people to walk side-by-side comfortably.



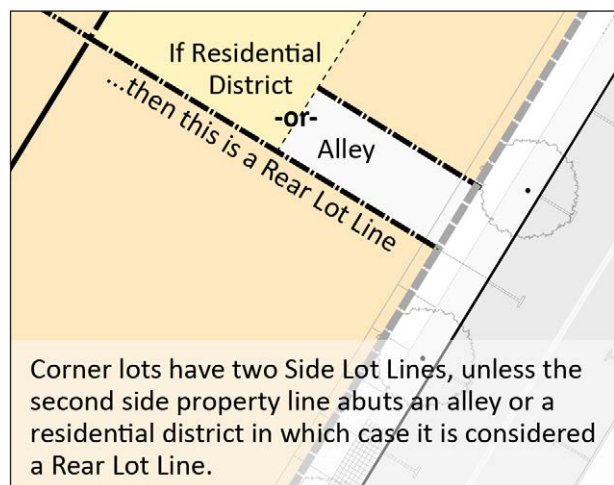
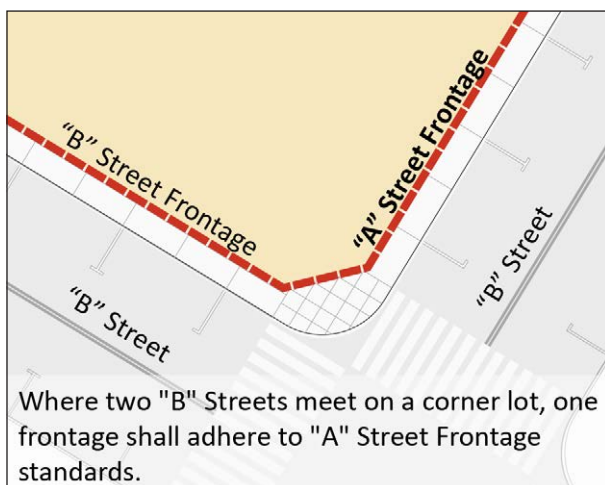
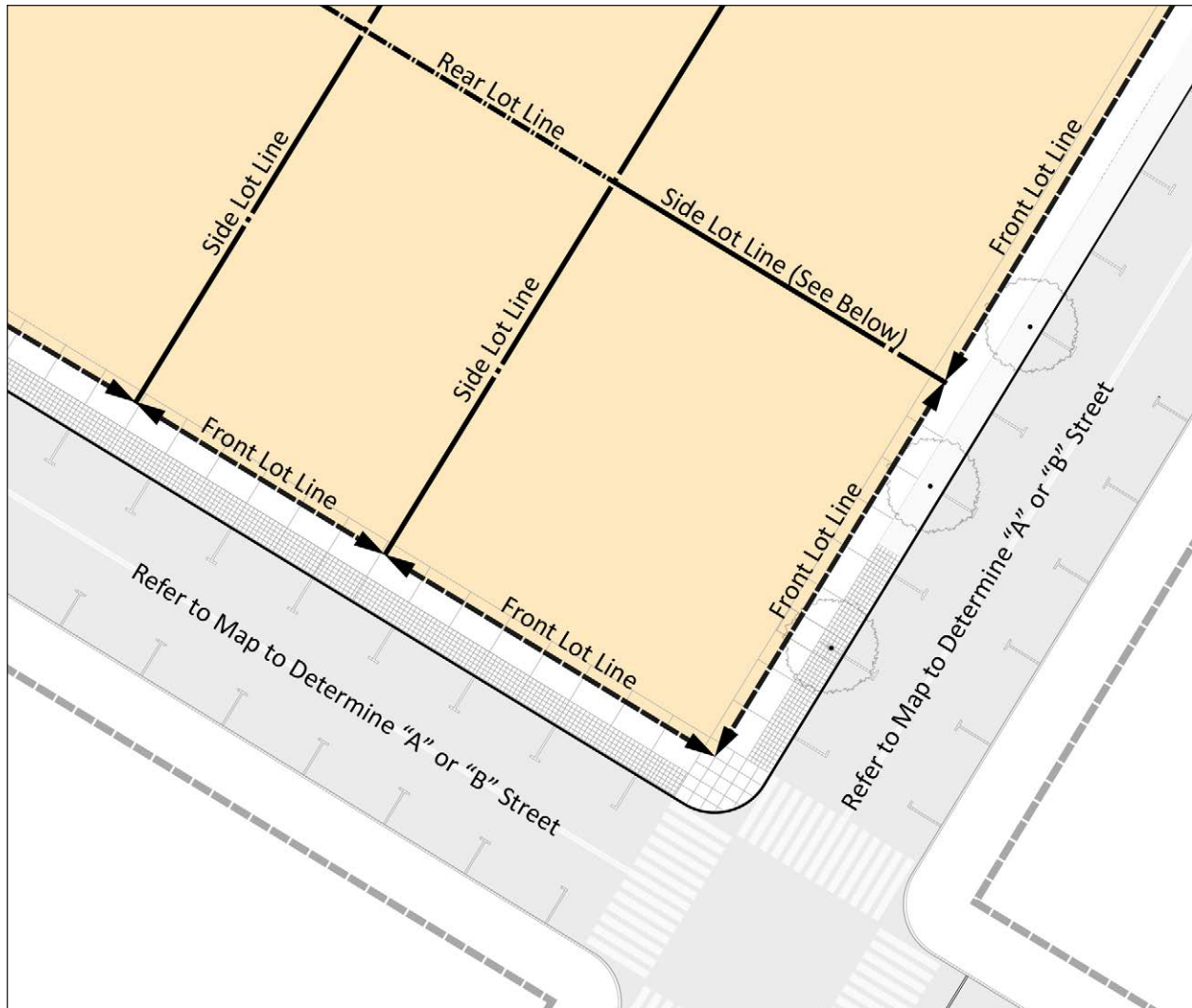
Article 2 Districts | 89-13 Downtown



Intent as adapted from the Downtown Action Plan adopted June 10, 2014

**(b) ESTABLISHMENT OF LOT LINES AND A & B STREETS**

- (1) Definition of Front Lot Line(s):** A Front Lot Line is the front or side (in the case of a corner lot) lot line along a public street or pedestrian right-of way. All lots shall have at least one front lot line.
- (2) Definition of Side and Rear Lot Lines:** Side and Rear Lot Lines are established as follows:
  - i. Side Lot Lines are established between adjoining lots.
  - ii. Rear lot lines are those that do not intersect with a front lot line or that abut an alley.
  - iii. Corner lots have two side lot lines, unless the second side lot line abuts an alley or a residential district in which case it is considered a rear lot line.
- (3) Establishment of A & B Streets:** All existing and future streets and pedestrian rights of way within and immediately adjacent to this zoning district shall be classified as either an "A" Street or "B" Street where:
  - a. "A" Streets are designed at the highest standards for vibrancy as characterized by human activity and interaction, and public spaces defined by high quality outdoor rooms.
  - b. "B" Streets allow for reduced Frontage standards allowing for more flexibility and a limited vehicular interface.
  - c. Corner lots have two Front Lot Lines. Where two "B" Streets meet, one frontage shall adhere to "A" Street Frontage standards.
- (4) A & B Streets Map:** An official A and B Street Map as adopted and amended from time to time by the provisions of this Ordinance is provided as an appendix.

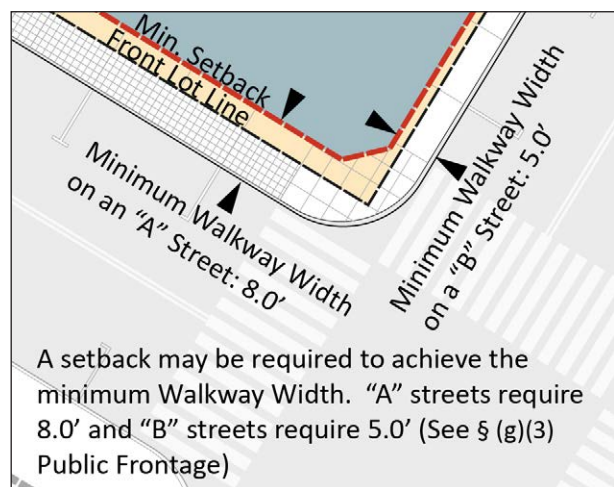
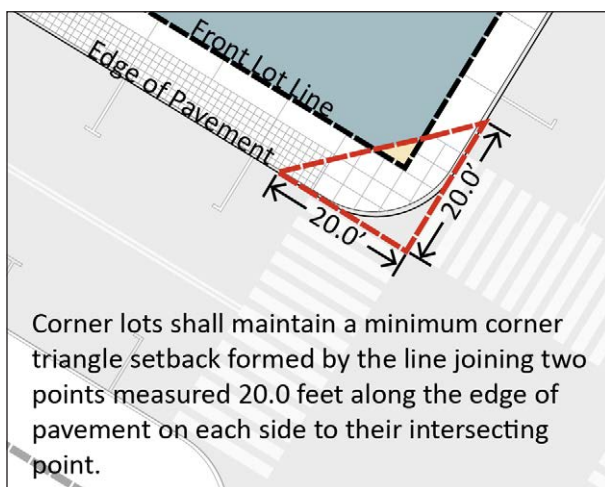
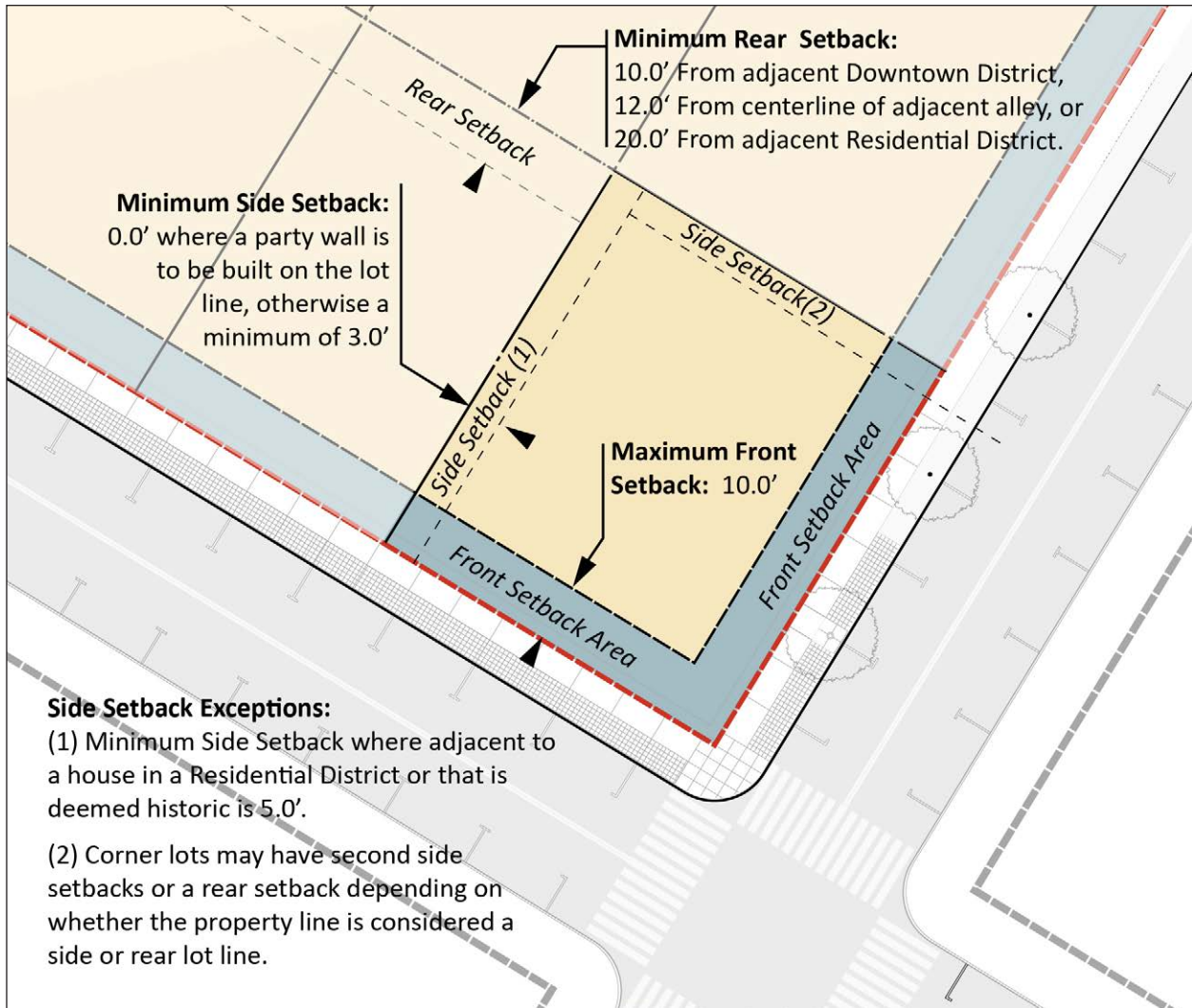




(c) **BUILDING PLACEMENT**

(1) **Setbacks**

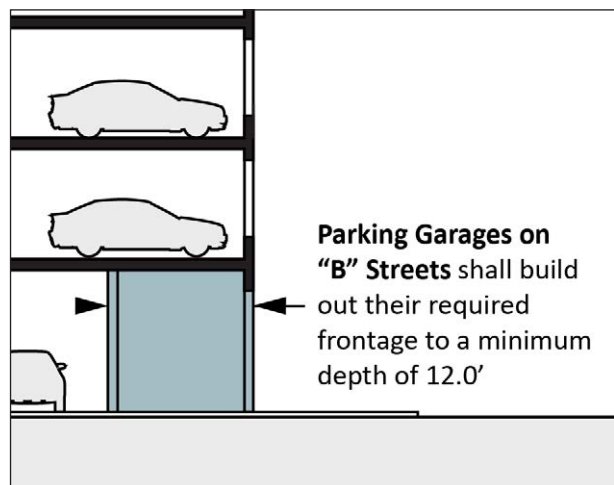
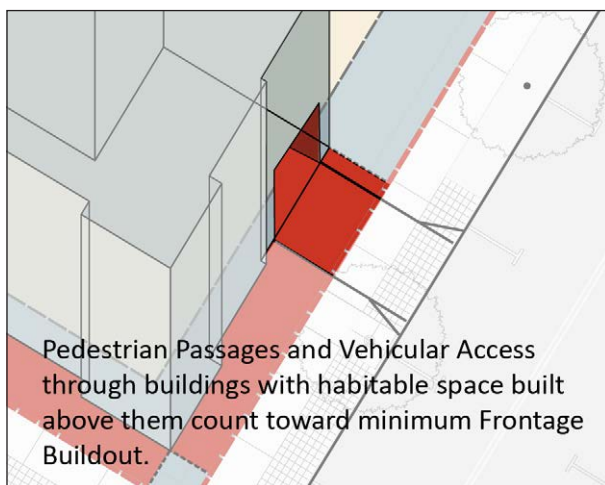
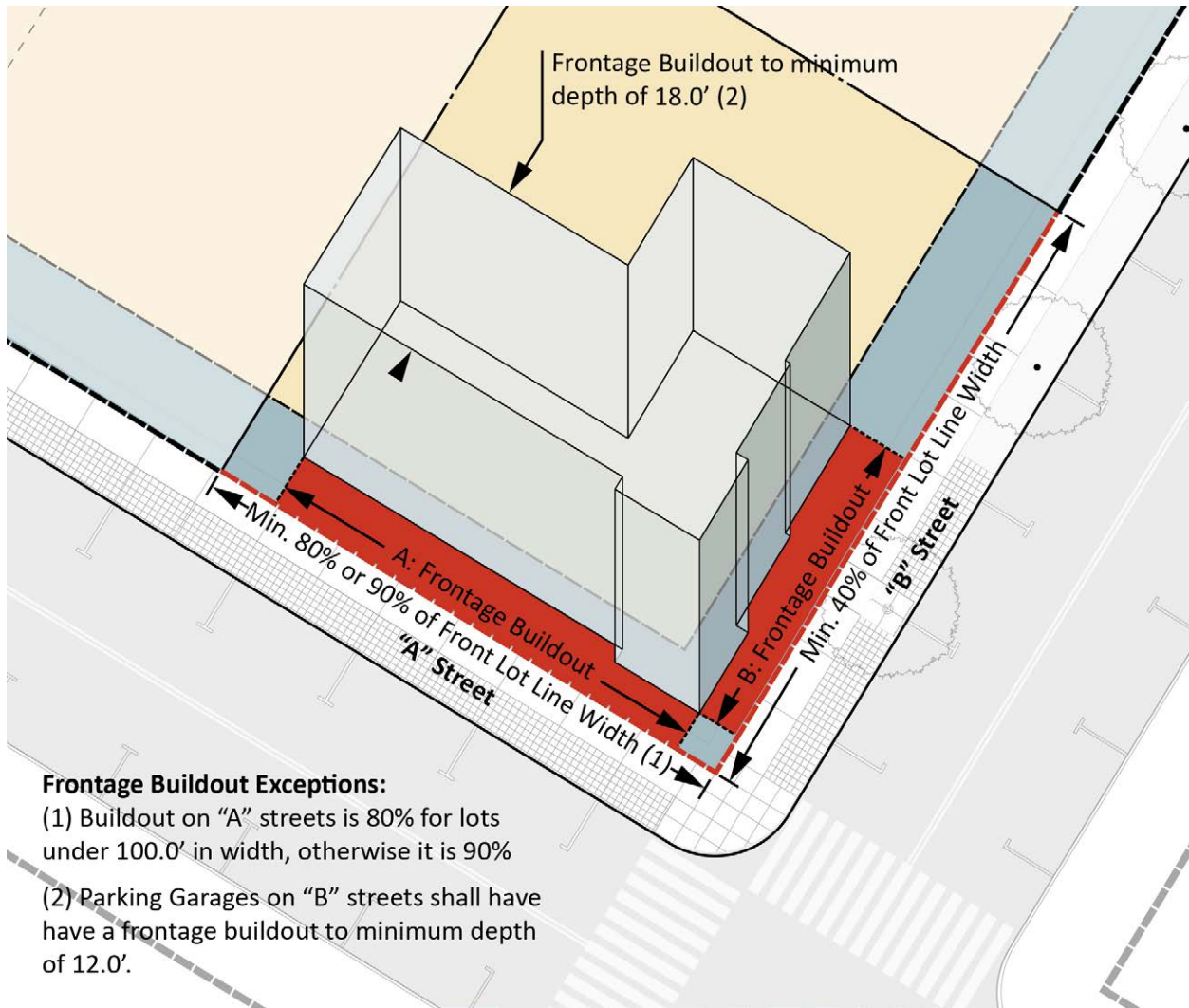
- a. **Front Setback:** Maximum 10.0 feet.
  - i. **Front Setback Area:** The area within the front setback shall be the Front Setback Area and shall be used for:
    - placement and articulation of the building Facade;
    - establishing required minimum Public Walkways;
    - providing additional sidewalk space for outdoor dining and other commercial-related activities,
    - street furniture and non-permanent planters; and
    - in the case of a Residential Frontage, landscaped yards and building access such as porches and stoops.
  - ii. **Required Front Setback for Walkway:** Where a minimum Public Walkway width requirement has not been met, a setback is required in accordance with Building Interface and Public Frontage Standards.
  - iii. **Required Front Setback at Corner:** To ensure adequate pedestrian circulation and visibility at corners, corner lots shall maintain a minimum corner setback formed by the line joining two points measured 20.0 feet along the edge of pavement on each side to their intersecting point.
  - iv. **Corner Line of Sight:** All Required Lines of Sight shall be calculated at no higher than a 25mph design speed as determined by Lafayette Consolidated Government department of Public Works.
- b. **Side Setback:** There shall be no required setback where a Party Wall is built at the lot line, otherwise a minimum 5.0 foot side setback is required where:
  - no party wall is to built, or
  - the abutting lot is zoned Residential.
- c. **Rear Setback:** Minimum setbacks from a rear lot line shall be as follows:
  - i. 12.0 feet from the center-line of an alley, or
  - ii. 10.0 feet from a rear lot line adjoining another Downtown parcel or Commercial district, or
  - iii. 20.0 feet from a rear lot line adjoining a lot zoned Residential.
- d. **Secondary Building Setbacks:** On lots with more than one building and where the Frontage Buildout requirements of this district have been met, additional buildings on a lot shall not be subject to the front setback and Frontage Buildout requirements.





(2) **Frontage Buildout**

- a. **Frontage Buildout:** The Facade of a building shall be built to a minimum percentage of the Front lot Line width within the maximum allowed front setback as follows:
  - i. For Frontages on an "A" Street with a Front Lot Line width of 100.0 feet or less, a minimum of 80% of the Facade must be built within the Front Setback Area.
  - ii. For Frontages on a "A" Street with a lot widths greater than 100.0 feet, a minimum of 90% of the Facade must be built within the Front Setback Area.
  - iii. For Frontages on a "B" Street: a minimum of 40% of the Facade must be built within the Front Setback Area.
  - iv. Pedestrian Passages and Vehicular Access through buildings having habitable space built above them to a minimum depth of 18.0 feet and within the Front Setback Area shall be counted toward minimum Frontage Buildout requirements.
- b. **Building Depth:** The Frontage Buildout shall be built to the minimum building depth from the front Facade as follows:
  - i. Parking garages along "B" Streets shall build out their required Frontage Buildout to a minimum Building depth of 12.0 feet.
  - ii. All other buildings shall be built to the minimum depth of 18.0 feet.
  - iii. The Building Depth shall be Habitable Space as described in Section (4)A Building Interface General.
- c. **Facade Alignment:** Facades facing the Front Lot Line shall be built parallel to the Front Lot Line or to the tangent of a curved Front Lot Line.
- d. **Building Footprint:** The maximum Building Footprint on a lot shall be 90% of the lot unless the lot is under 10,000 square feet or has alley access, in which case it shall have no maximum.



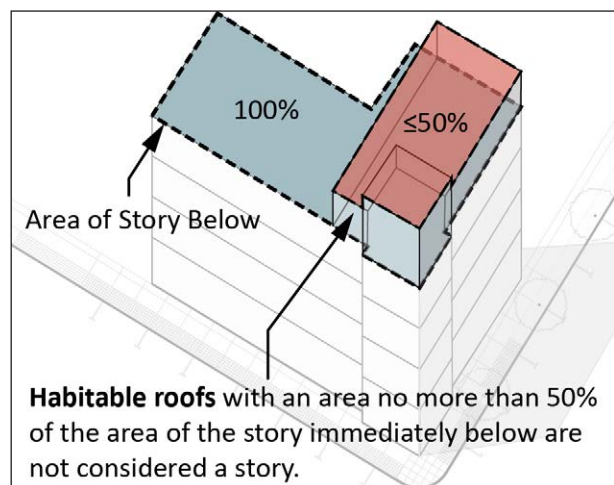
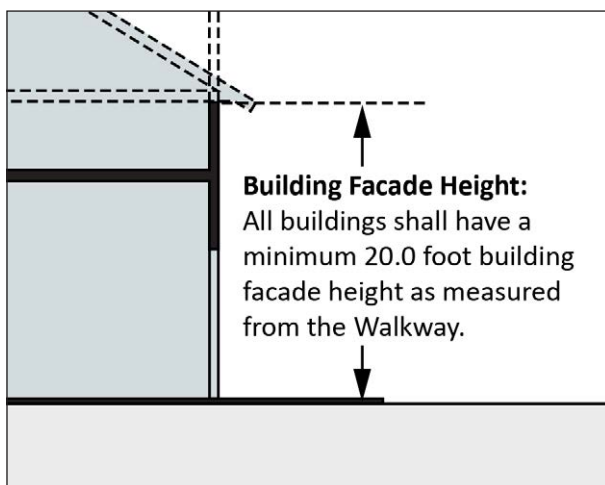
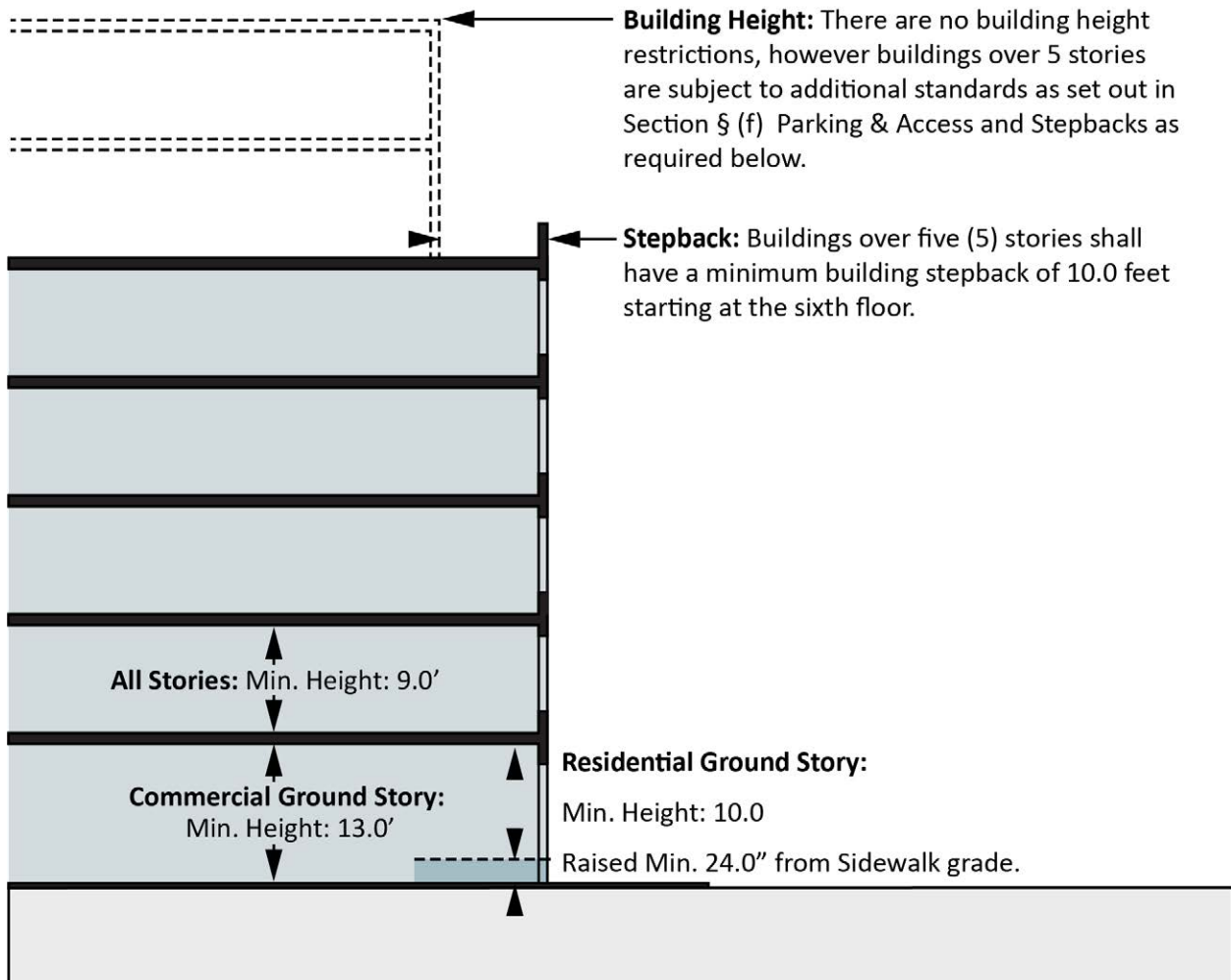
**(d) BUILDING HEIGHT**

- (1) Building Height:** There are no maximum building heights within the Downtown district except as they are limited by the following:

  - a. **Parking for Buildings over 5 Stories:** Buildings over five (5) stories shall be subject to additional Parking standards as set forth in Section (5)A Parking & Access; and
  - b. **Stepbacks for Buildings over 5 Stories:** Buildings over five (5) stories shall have a minimum building stepback of 10.0 feet starting at the sixth floor.
- (2) Building Facade Height:** All buildings shall have a minimum 20.0 foot building facade height as measured from the Walkway. Building facade height for single story buildings shall be measured from the Walkway to the top of a parapet or eaves line.
- (3) Habitable Roofs:** As described in § 89-27 Building Height, Habitable Space within enclosed attics, towers, and penthouses with an area equalling 50% or less of the building area of the story immediately below shall not be counted as a story. Non-conditioned rooftop space, covered or uncovered, such as rooftop terraces and patios are permitted, but are not included as Habitable Space.
- (4) Building Height Exceptions:** Elements that are exempt from building height regulations are as described in § 89-27 Building Height.
- (5) Commercial Ground Story:** Commercial ground stories shall have a minimum 13.0 foot floor to ceiling height.
- (6) Residential Ground Story:** Residential ground stories shall:

  - a. Be raised a minimum of 24.0 inches from sidewalk level; and
  - b. Have a minimum 10.0 foot floor to ceiling height.
- (7) Minimum Story Height:** All stories shall have a minimum floor to ceiling height of 9.0 feet.

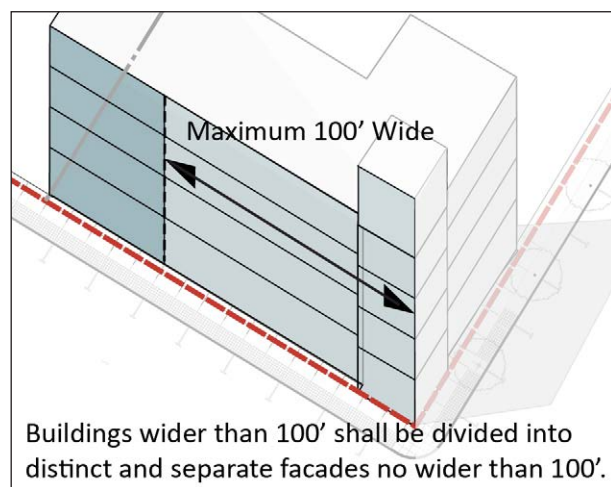
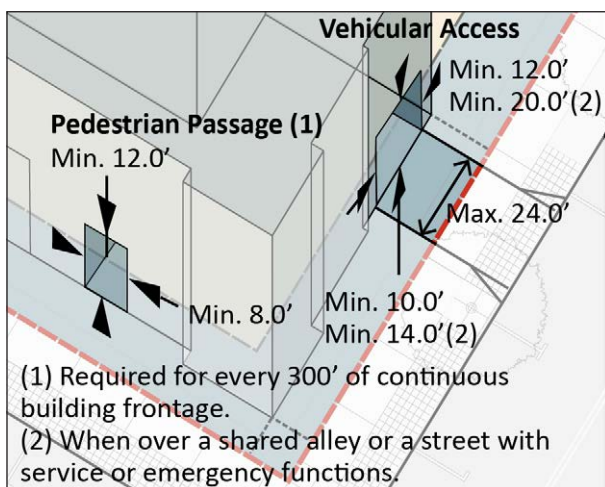
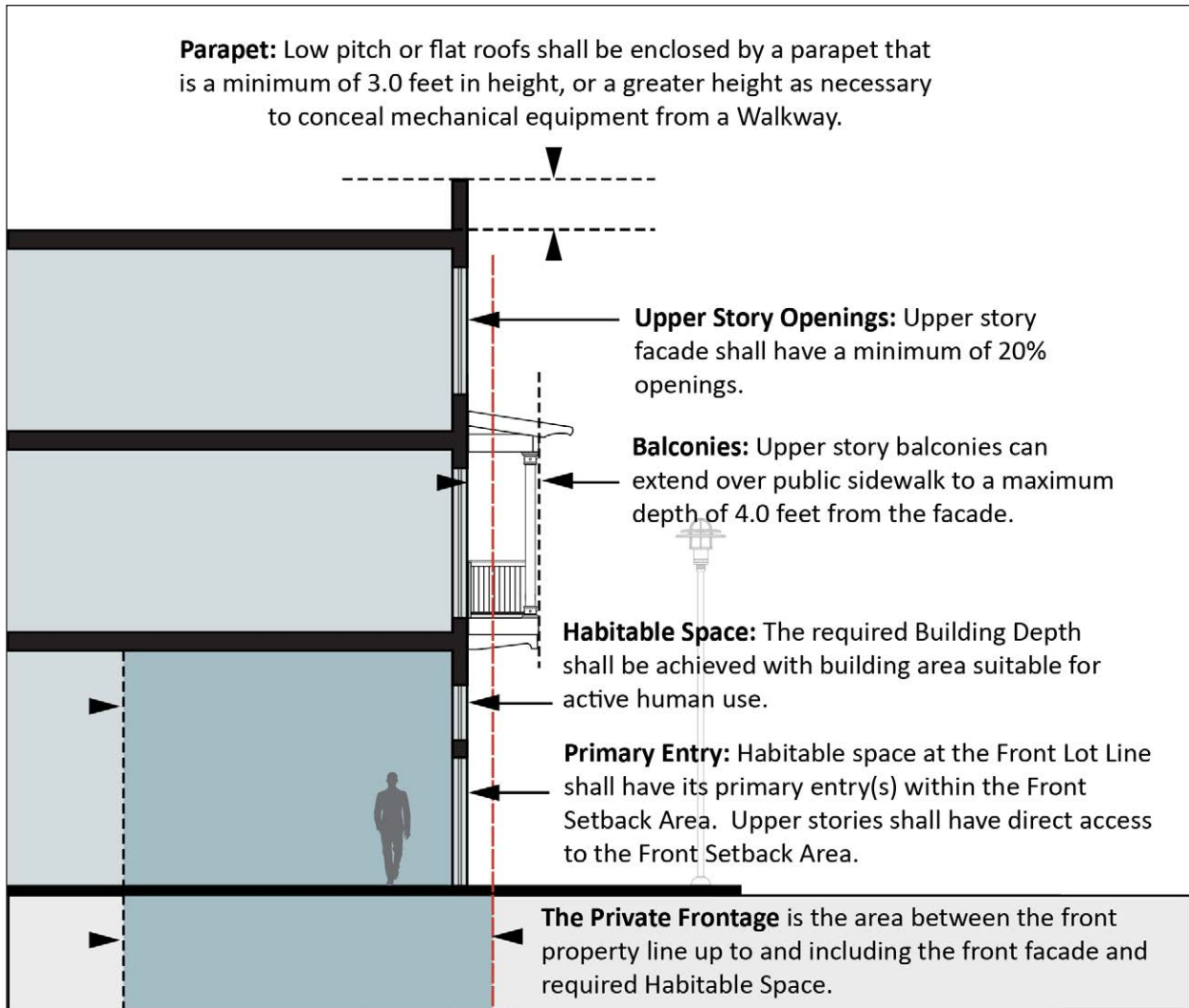




(e) **BUILDING INTERFACE**

(1) **General**

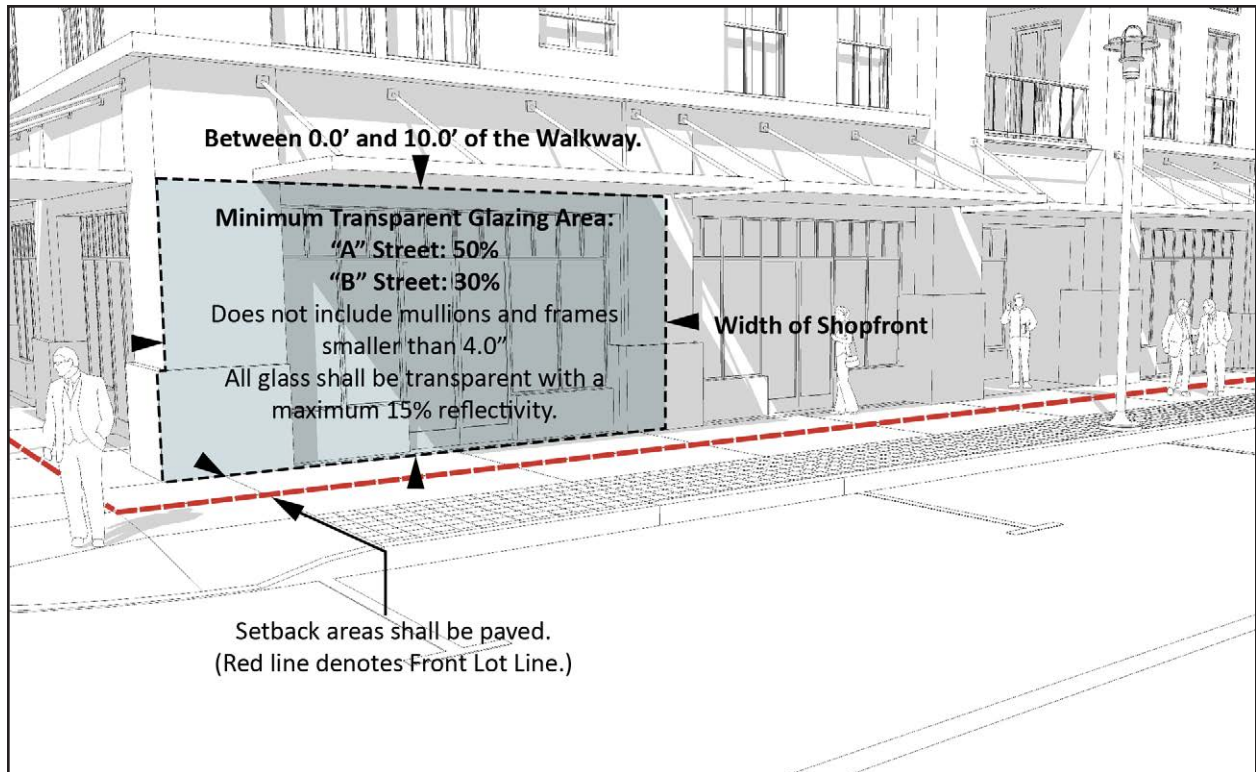
- a. **Private Frontage Interface:** The Private Frontage shall be established as the area within the Front Setback Area from the Front Lot Line up to and including the Facade and the required Habitable Space.
- b. **Habitable Space:** Habitable Space is building area suitable for active human use such as residential, office, retail, and institutional uses. Parking and warehousing are examples of non-Habitable Space. The required Building Depth as described in § (c) (2) Frontage Buildout shall be Habitable Space.
- c. **Primary Building Entry:** Habitable space at the Front Lot Line shall have its primary entry(s) within the Front Setback Area. Upper stories shall have direct access to the Front Setback Area.
- d. **Private Frontage Interfaces:** There are two possible Private Frontage types. Private Frontages are limited to the following, and are to be designed in conformance to their applicable standards (as noted):
  - i. **Commercial Frontage (e)(2)**
  - ii. **Urban Residential Frontage (e)(3)**
- e. **Frontage Attachments:** Galleries and Awnings are not required. Galleries and Awnings shall not overlap the Walkway and/or encroach into the public right-of-way unless constructed in accordance with (e)(4) Building Interface: Awning Standards and (e)(5) Building Interface: Gallery Standards.
- f. **Upper Story Facade Requirements**
  - i. Glazing above the first Story Façade shall be a minimum of 20% of the Façade wall area.
  - ii. Low pitch or flat roofs on new buildings shall be enclosed by a parapet that is a minimum of 3.0 feet in height, or as necessary to screen the view of mechanical equipment from the Walkway. Existing buildings shall screen mechanical equipment through a parapet or by other means.
  - iii. Upper story balconies can extend over public sidewalk to maximum depth of 4.0 feet.
- g. **Development over Access ways:** To achieve a connected street wall and for more efficient use of land, buildings may extend over pedestrian and vehicular access ways to internal blocks as follows:
  - i. Required Pedestrian Passages shall form a continuous minimum at-grade opening of 12.0 feet sidewalk to ceiling height and a width of 8.0 feet.
  - ii. Vehicular access to structured and surface parking having the following unobstructed dimensions:
    - a minimum opening height of 10.0 feet in height, or 14.0 feet in height when over a shared alley or street with service or emergency functions; and
    - a minimum width of 12.0', or a minimum width of 20 feet (18 feet curb face to curb face minimum) when over a shared alley or street with service or emergency functions. The maximum width of the opening shall be 24 feet.
- h. **Required Pedestrian Passage:** Any block length having 300.0 feet or more of continuous building Frontage shall be required to have an unobstructed pedestrian passageway for emergency service access.
- i. **Building Facades:** Buildings wider than 100 feet shall be divided into distinct and separate Building Facades no wider than 100.0 feet.





(2) **Building Interface: Commercial Frontage**

- a. **Minimum Glazing:** Facades along "A" Streets shall be glazed with no less than 50% of the first story measured between the ground and 10.0 feet of the Walkway. Facades along "B" Streets shall be glazed with no less than 30% of the first story measured between the ground and 10.0 feet of the Walkway. Mullions, muntin and frames that are no wider than 4.0 inches shall be included as part of the Glazed area.
- b. **Glass Transparency:** All glass shall be transparent with a maximum 15% reflectivity. Any window tinting, graphics, and interior affixed window shades that create a permanent opaque or translucent condition are prohibited, except for allowed signage.
- c. **Setback Landscaping:** Setbacks shall be paved and shall be available for outdoor dining and furnishing where the minimum Walkway width is established as required in § (g)(3).
- d. **Shading of Private and Public Frontage:** In addition to shade provided by street trees where they are provided, shading of the private and public frontage can be achieved through the combination of a Gallery and/or Awning Frontage.

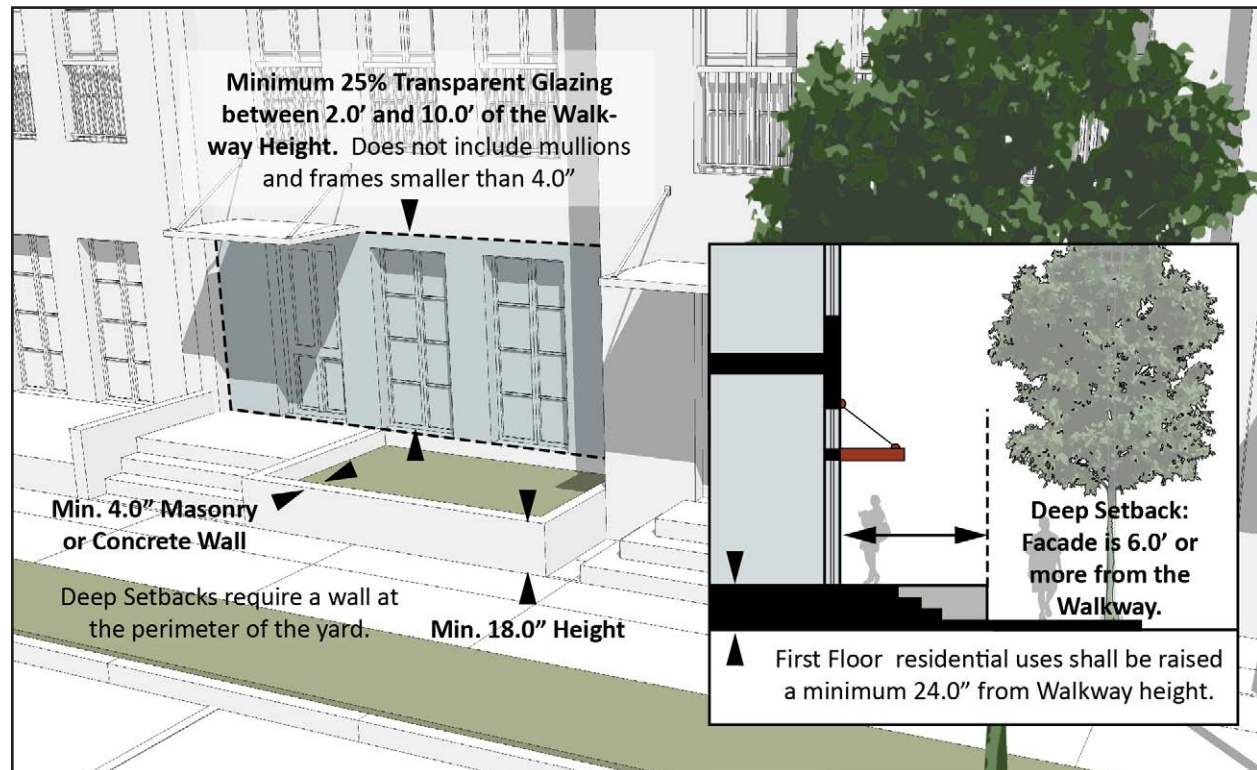
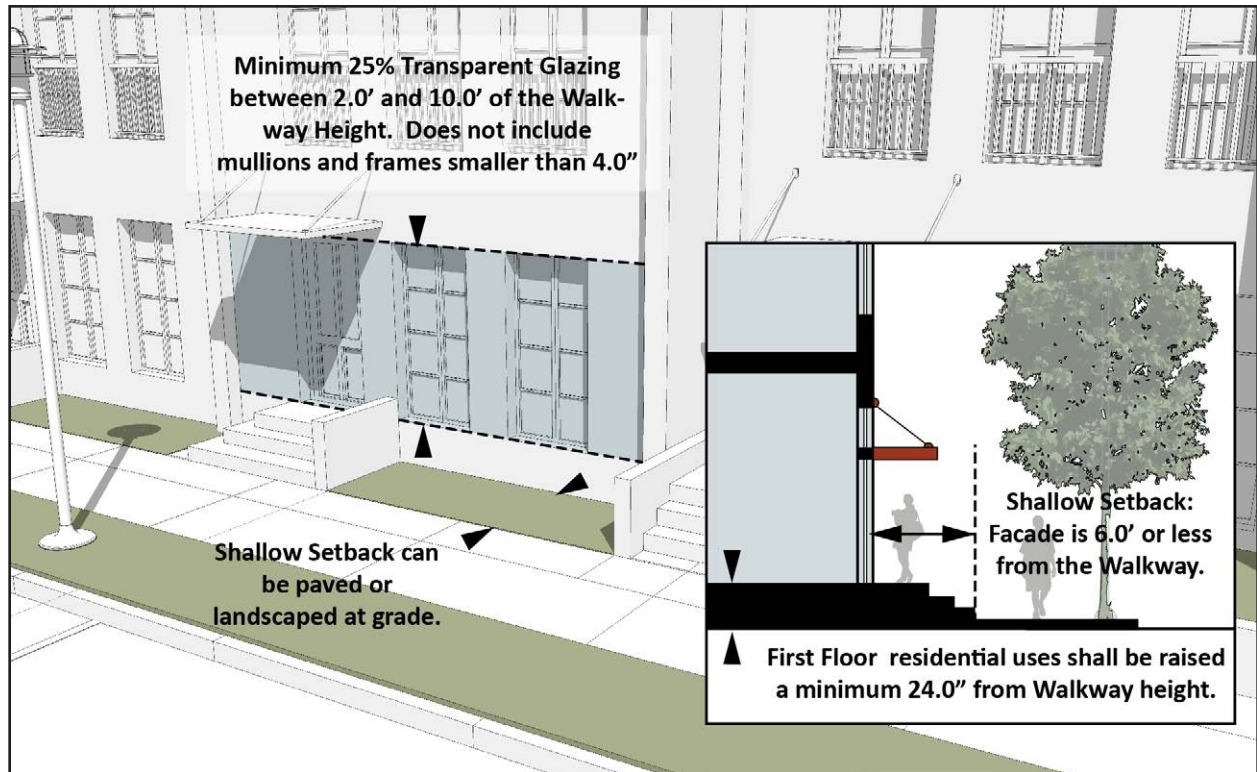


(3) **Building Interface: Urban Residential Frontage**

- a. **Minimum Glazing:** Facades shall be glazed with no less than 25% of the first story measured between 2.0 feet and 10.0 feet of the Walkway.
- b. **Glass Transparency:** All glass shall be transparent with a maximum 15% reflectivity. Window tinting and interior affixed window shades that create a permanently opaque or translucent condition are prohibited. Window shading and privacy can be achieved through interior adjustable window treatments, and/or operable exterior shutters.
- c. **Raised Ground Story Access:** Access to the required minimum 24.0 inch raised residential ground story can be achieved through exterior or interior steps and ramping.
- d. **Flex Frontage:** The raised residential ground story requirement shall be waived where:
  - i. The ground story at the Frontage to a minimum depth of 18.0 feet is built to a commercial building standard;
  - ii. No other residential room is at the frontage;
  - iii. There is a separate entry for the Residential and Commercial areas of the building, and a lockable interior connection between the areas.
- e. **Shallow Setback Landscaping:** After minimum walkway requirements are met, setbacks less than 6.0 feet may be landscaped or paved.
- f. **Deep Setback Landscaping:** After minimum walkway requirements are met, setbacks over 6.0 feet of the walkway shall be landscaped.
- g. **Deep Setback Planter Wall:** After minimum walkway requirements are met and where setbacks from the Walkway are greater than 6 feet, a required landscaping wall shall be built at the perimeter of the yard, measuring a minimum 18.0 inches in height, and 4.0 inches in depth. A side wall is not required where the planter wall is continuous with an abutting yard.



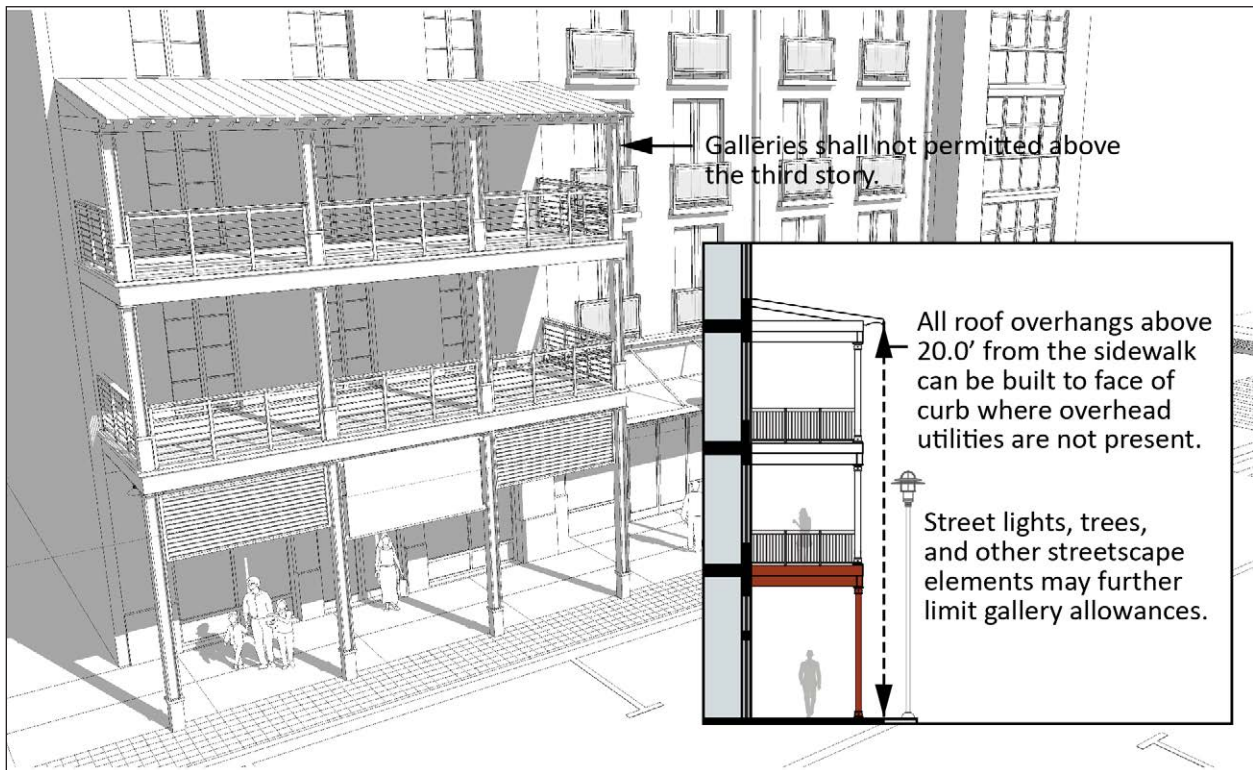
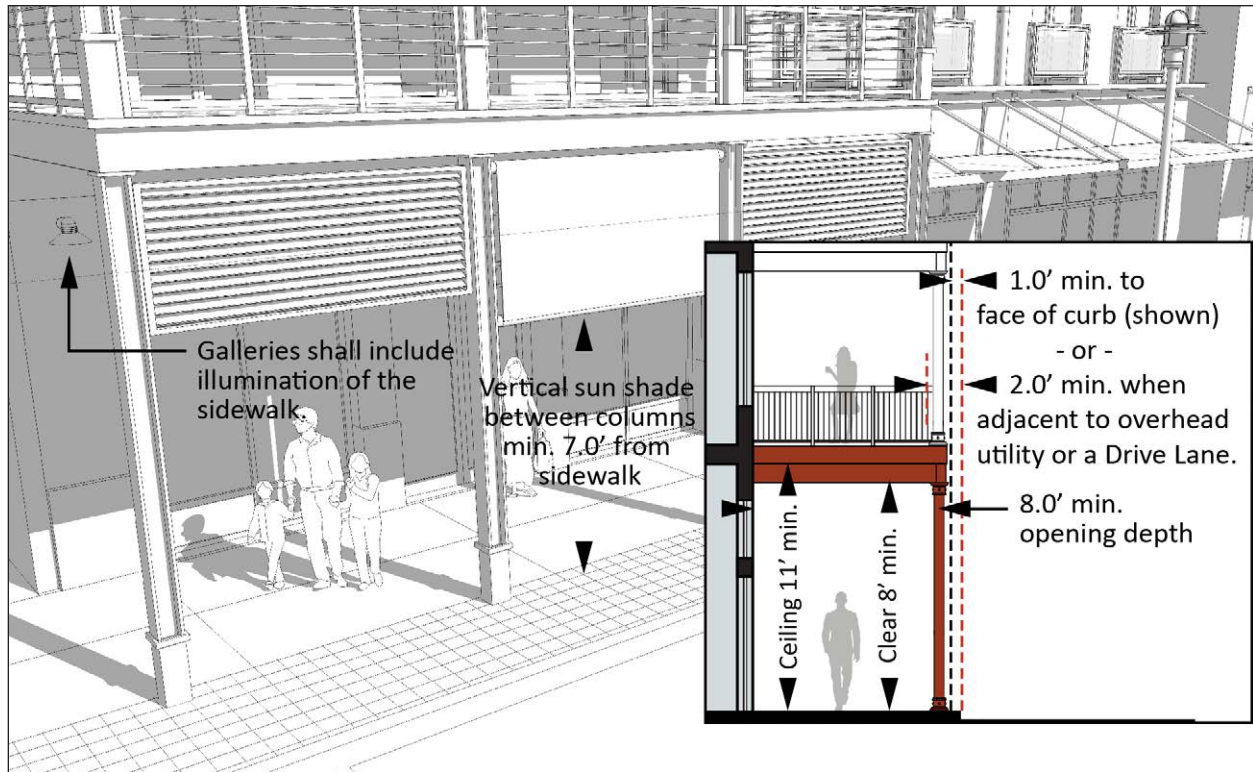
Article 2 Districts | 89-13 Downtown



**(4) Building Interface: Gallery Standards**

- a. **Gallery Standards:** Galleries may not cover the public frontage unless the following standards are met:
  - i. Galleries shall have the following minimum dimensions:
    - depth: 8.0 feet
    - height to ceiling: 11.0 feet
    - clear height: 8.0 feet
  - ii. Galleries are not permitted above the third story.
  - iii. No element of a gallery shall encroach closer than 1.0 foot to the face of curb, or 2.0 feet when adjacent to overhead utilities or a Drive Lane (as opposed to a Parking Lane).
  - iv. All gallery roof overhangs above 20.0 feet from the sidewalk can be built to the face of curb where overhead utilities are not present.
  - v. Galleries shall have a consistent depth.
  - vi. Galleries may include a vertical shade between columns to within 7.0 feet of the sidewalk.
  - vii. Galleries shall include illumination of the sidewalk.
  - viii. Galleries shall not be built over an electrical transformer.
  - ix. When built within the public right of way, Galleries are subject to applicable agreements with LCG and utility providers.

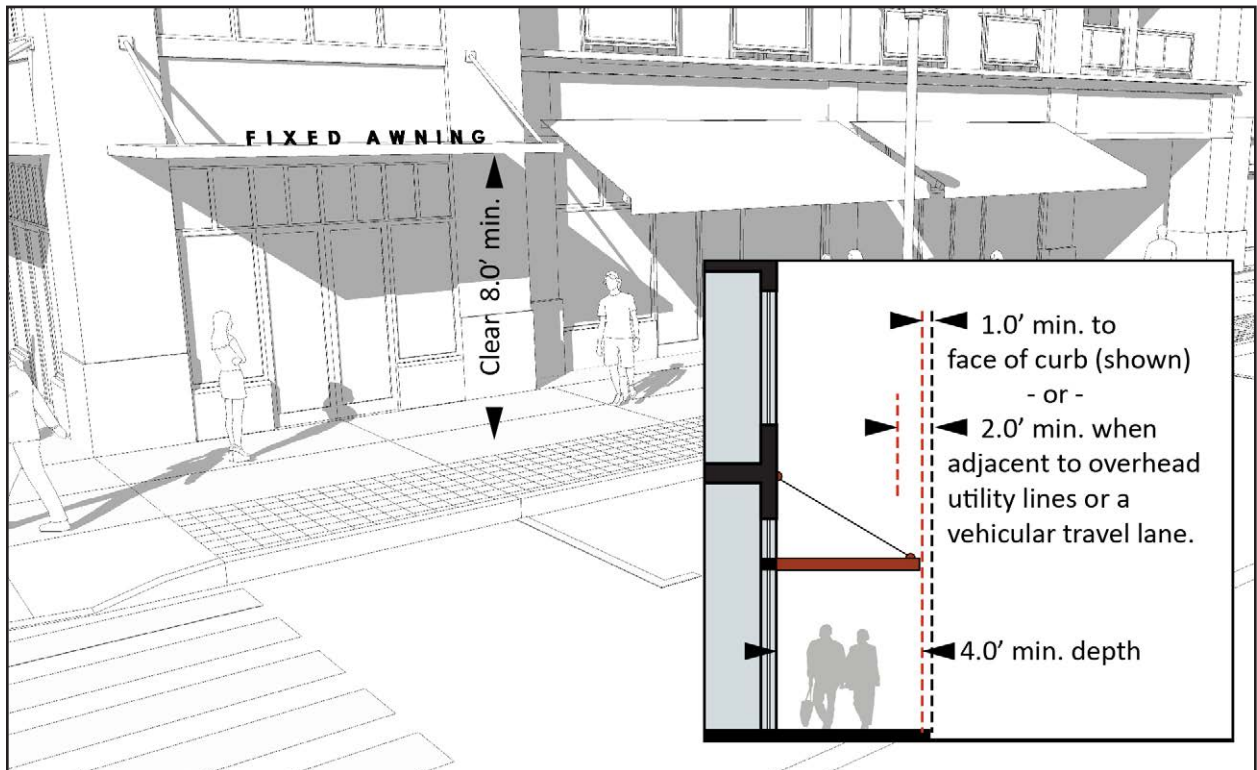
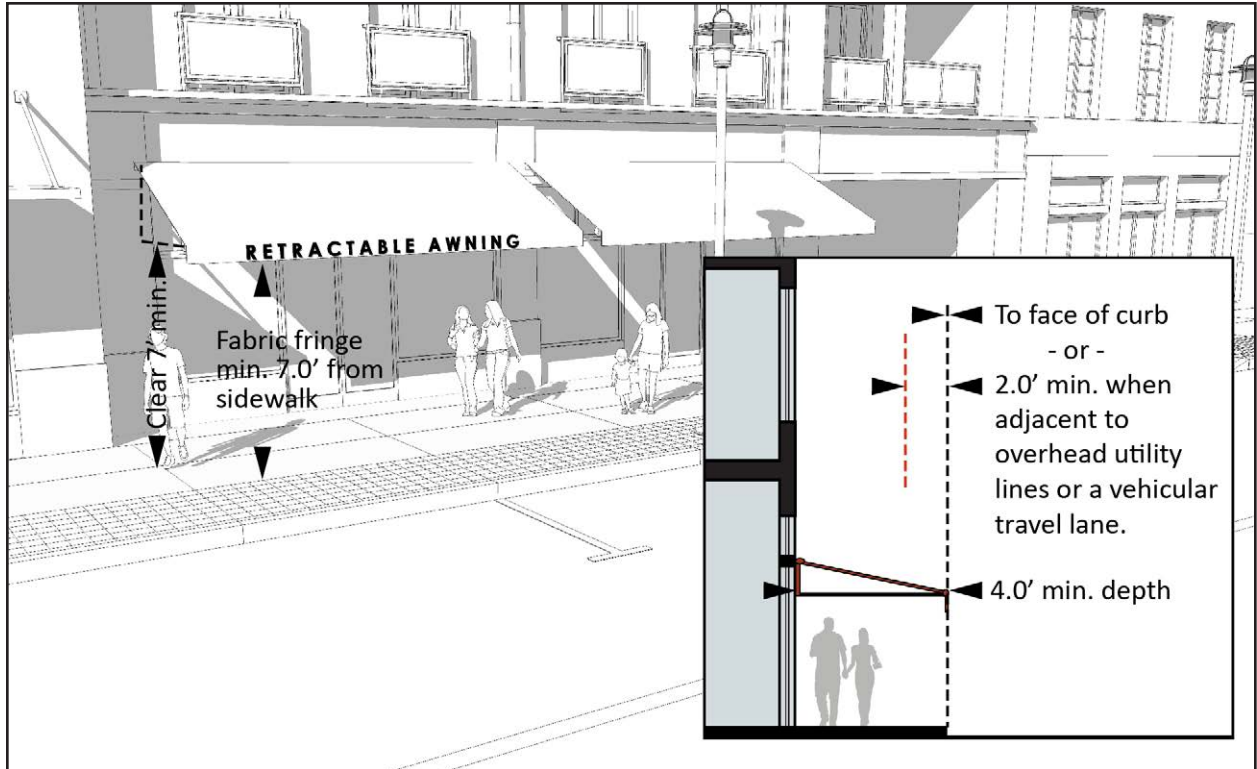
Article 2 Districts | 89-13 Downtown





**(5) Building Interface: Awning Standards**

- a. **Awning Standards:** Awnings may not cover the public frontage unless the following standards are met:
  - i. Awnings shall have a minimum depth of 4.0 feet from the facade.
  - ii. Retractable Awnings may cover sidewalks to the face of curb and to a minimum height of 7.0 feet from the sidewalk.
  - iii. Fixed Awnings shall be built to a minimum height of 8' from the Sidewalk and to within 0.5 feet of the curb.
  - iv. Awnings shall not extend closer than 2.0 feet from the face of curb when adjacent to overhead utility lines or a Drive Lane (as opposed to a Parking Lane).
  - v. The fabric fringe of an awning may extend as a vertical shade to within 7.0 feet of the sidewalk where it does not impede the walkway.
  - vi. Fixed Awnings shall not be built over an electrical transformer.
  - vii. When built within the public right of way, Awnings are subject to applicable agreements with LCG and utility providers.



**(f) PARKING & ACCESS**

**(1) Vehicle Parking Space Requirements:**

- a. There shall be no minimum parking space requirements for all buildings of five (5) stories or less.
- b. For buildings over five (5) stories, parking shall be provided on the lot, screened from the Walkway as per the provisions of this code, and the minimum number of required parking spaces for the entire building shall be as follows:
  - i. Retail: 3 Spaces / 1000 sf
  - ii. Office: 2 Spaces / 1000 sf
  - iii. Residential: 1 Space / Unit
  - iv. Accommodations: 1 Space / Room

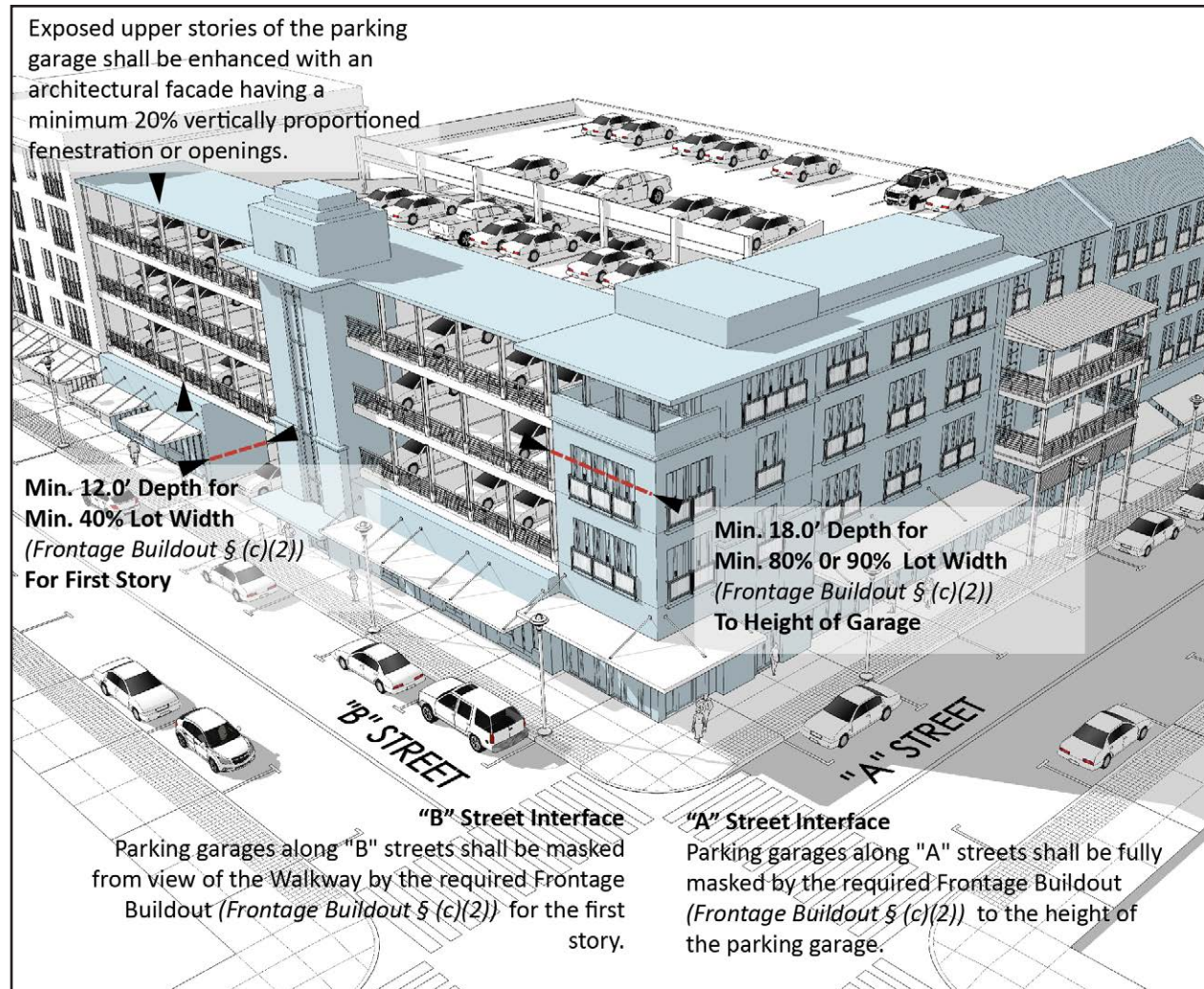
**(2) Location of Off-Street Parking:** Off-Street Parking shall not be viewable from the Walkway unless the following conditions are met:

- a. Parking Garage Standards § (f)(3), or
- b. Parking Screen Standard § (f)(4).

**(3) Parking Garage Standards:** The following applies to parking garages:

- a. Parking garages along "B" streets shall be masked from view of the Walkway by the required Frontage Buildout § (c)(2) for the first story. The remainder of the garage may be unmasked provided the following standards are met:
  - i. Upper stories of the parking garage shall have a facade where all openings are vertically proportioned.
  - ii. Any exposed parking spaces at the ground story shall be subject to § (f)(4) Parking Screen Standards.
- b. Parking garages along "A" streets shall be fully masked by the required Frontage Buildout § (c)(2) to the height of the parking garage.

Article 2 Districts | 89-13 Downtown



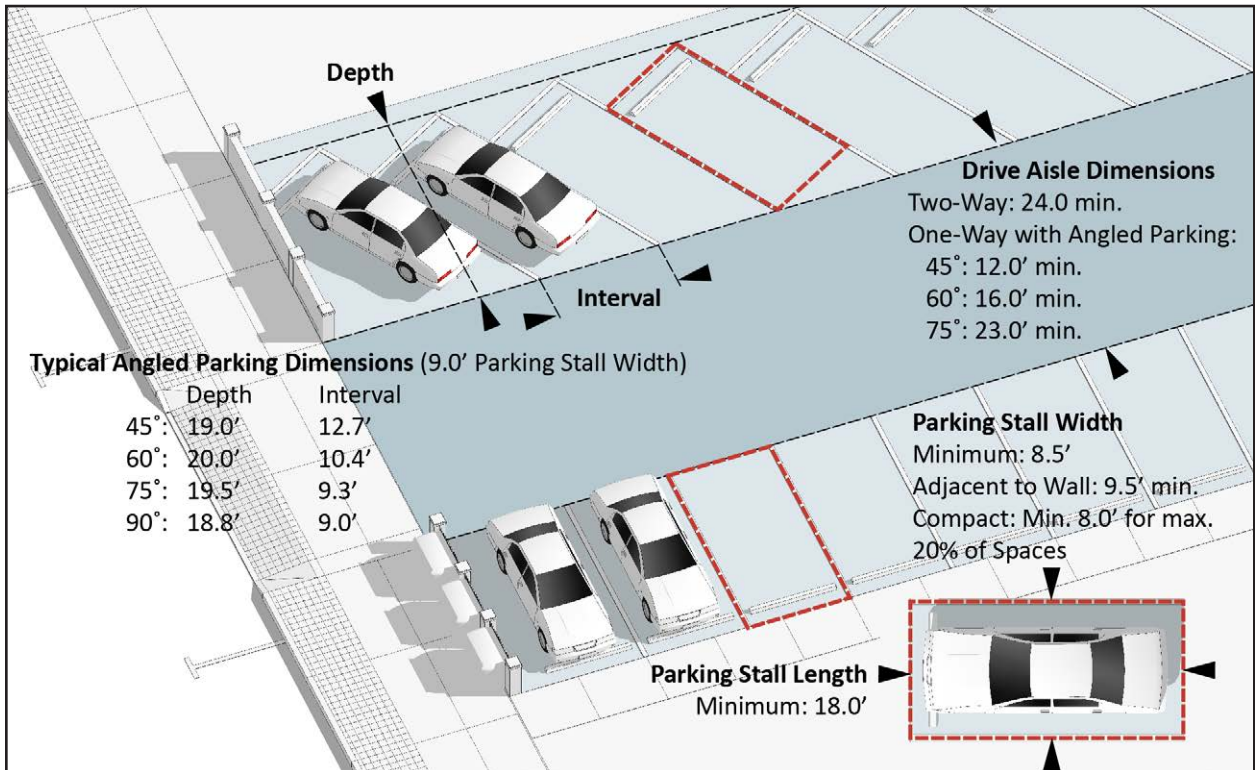
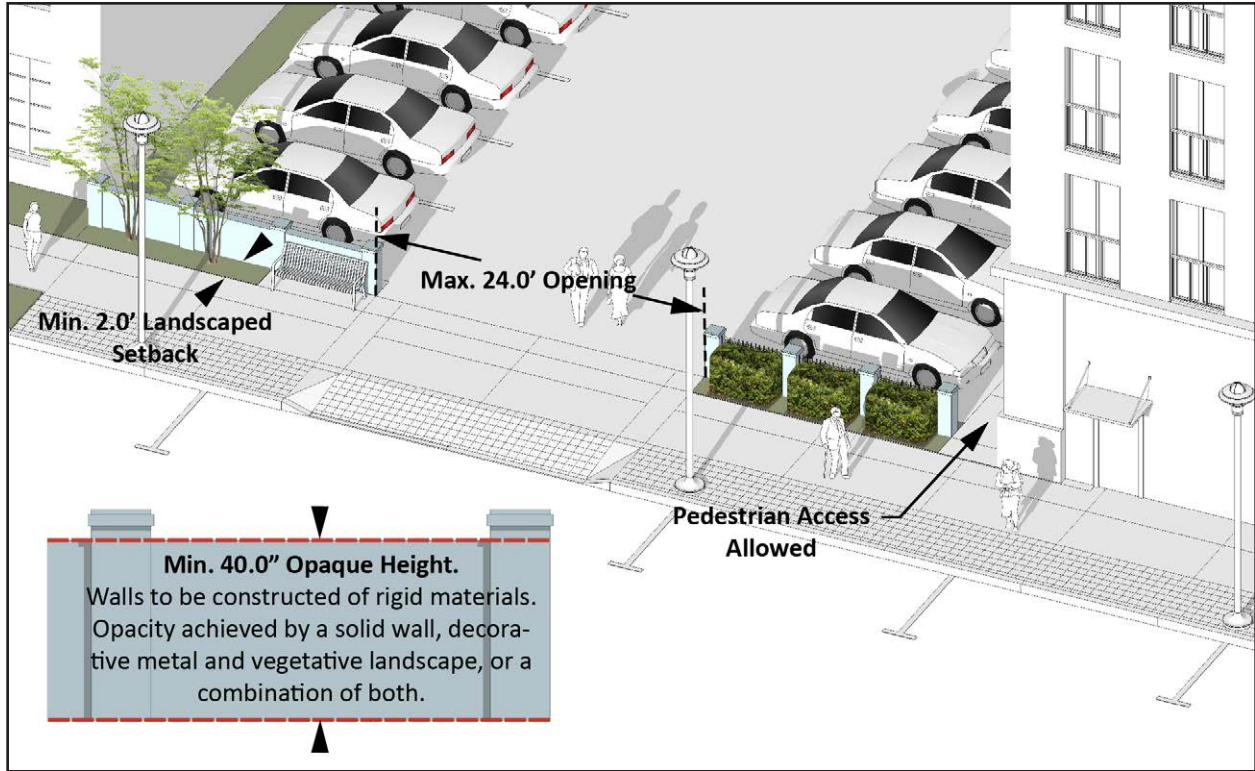


**(4) Parking Screen Standards**

- a. Opaque Height: 40.0 inches minimum, 8.0 feet maximum vertical distance from the top of the Walkway.
- b. Material: Rigid opaque materials to minimum depth of 4.0 inches, and to the minimum height after which other materials may be used to the maximum height. Decorative metal in combination with vegetative landscaping can be used in place of rigid materials. Chain-link and wood fences are not permitted. Vegetative landscaping shall achieve and maintain the required minimum Opaque Height within one year of installation.
- c. Setback Landscaping: Parking Screens shall be set back a minimum of 2.0 feet from the Walkway and may be landscaped or paved. In no case shall a Parking Screen be set closer to the Walkway than the Building Facade.
- d. Parking Screens shall allow openings no wider than 24.0 feet for vehicles, and provide openings as needed for pedestrian access along the rear of the building.

**(5) Parking and Loading Access**

- a. Loading facilities and service areas shall not be visible along "A" Street Walkways.
- b. Loading facilities and service areas are permitted within the Front Setback Area of a building on a "B" Street, but shall not count toward the required Frontage Buildout.
- c. Garbage enclosures shall not be visible from view of a Walkway.
- d. Where a lot abuts an alley, parking shall be accessed from the alley.
- e. Drive Aisle Dimensions: Minimum 24.0 feet for two way traffic. One-Way drive aisles are allowed only for angled parking (both back-in/head-out and head-in/back-out) with dimensions as follows:
  - i. 45 degree parking stall: minimum 12.0 foot drive aisle
  - ii. 60° degree parking stall: minimum 16.0' foot drive aisle
  - iii. 75° degree parking stall: minimum 23.0' foot drive aisle
- f. Parking Stall Dimensions:
  - i. Width as measured on-centre: Minimum 8.0 feet, typically 9.0 feet, or a minimum 9.5' to accommodate door openings where the side of a stall is directly adjacent to a wall or vertical element over 6.0 inches in height.
  - ii. Length: Minimum 18.0 feet.
- g. Vehicular entrances to off-street parking lots and parking garages shall be no wider than 24.0 feet at the Front Lot Line.



**(g) PUBLIC FRONTAGE**

- (1) Public Frontage:** The public frontage shall be established as the area between the Front Lot Line and the face of curb.
- (2) Public Frontage Components:** The public frontage has three primary components.
  - a. **The Furnishing Zone:** The area between the face of curb and the Walkway utilized for street light standards, utility poles, street furniture, outdoor dining, planting areas, and tree planting.
  - b. **The Walkway:** A continuous, unobstructed, accessible, paved area dedicated to pedestrian movement along the private frontage. Walkways are required on all public frontages.
  - c. **The Interface Zone:** The area between the Walkway and the Building Facade (not including residential yards) available for outdoor dining, sidewalk signs, street furniture, non-affixed planters, and outdoor merchandising.
- (3) Minimum Walkway Widths:** Minimum, unobstructed Walkway widths shall be established as follows:
  - a. A minimum of 8.0 feet on "A" Streets.
  - b. A minimum of 5.0 feet on "B" Streets.
  - c. Unobstructed Front Setback Areas that are paved at the same grade as the adjoining Walkway shall be counted toward the minimum Walkway width.
  - d. Bollards installed for pedestrian safety shall not be considered an obstruction to a Walkway.
  - e. Non-permanent outdoor dining may encroach into an "A" Street Walkway provided that a minimum 5.0 feet clear is maintained.



